



City of
Jonesville

265 E. Chicago Street, Jonesville, MI 49250

(517) 849-2104
(517) 849-9037 Fax

www.jonesville.org
manager@jonesville.org

**CITY OF JONESVILLE
PLANNING COMMISSION AGENDA
WEDNESDAY, SEPTEMBER 9, 2020, 7:00 p.m.
WRIGHT STREET PARK, 416 WRIGHT STREET**

The Planning Commission intends to meet at Wright Street Park, 416 Wright Street, Jonesville, MI 49250 and the public is welcome to attend. Please bring a lawn chair and plan to practice appropriate social distancing. Masks are required where distance cannot be maintained.

In the event of inclement weather, participation in the meeting will be held by Zoom Meeting pursuant to Governor Whitmer's Executive Order 2020-154. The Board, staff and public wishing to participate may do so by visiting the web address on a computer or electronic device or by calling the following telephone number. When prompted enter the Meeting ID and Password.

WEB ADDRESS: www.zoom.us
CALL-IN TELEPHONE NUMBERS:
1-312-626-6799 or
1-929-205-6099

**MEETING ID: 869 3720 2328
PASSWORD: 845624**

- 1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / MOMENT OF SILENCE**
- 2. PUBLIC COMMENT**
- 3. APPROVAL OF AGENDA**
- 4. APPROVAL OF MINUTES**
 - A. August 12, 2020 Meeting
- 5. PUBLIC HEARING AND SUBSEQUENT ACTION**
 - A. None
- 6. NEW BUSINESS**
 - A. Site Plan Review – Request from Convenience King Group Inc. to construct a new fuel canopy and reconfigure parking and on-site circulation on the property located at 475 E. Chicago Street
- 7. OTHER BUSINESS**
 - A. Project Updates
- 8. ADJOURNMENT - Next meeting Wednesday, October 14, 2020 at 7:00 pm**

**CITY OF JONESVILLE
PLANNING COMMISSION
Minutes of August 12, 2020**

A City of Jonesville Planning Commission meeting was held on Wednesday, August 12, 2020 at Wright Street Park, 416 Wright Street, Jonesville, MI. Chairman Bowman called the meeting to order at 7:02 p.m.

Present: Jerry Drake, Christine Bowman, Annette Sands, Charles Crouch and Jim Ackerson.

Absent: Jim Taipalus. (One Vacancy)

Also Present: Jeff Gray, Mike Kyser, Councilman Tim Bowman, Olivia Stemen and Kayla Thompson.

The Pledge of Allegiance was led by Jerry Drake followed by a moment of silence.

There were no public comments.

A motion was made by Annette Sands and supported by Jerry Drake to approve the agenda as presented. All in favor. Absent: Jim Ackerson, Jim Taipalus and One Vacancy. Motion carried.

Jerry Drake made a motion and was supported by Charles Crouch to approve the minutes from July 8, 2020. All in favor. Absent: Jim Ackerson, Jim Taipalus and One Vacancy. Motion carried.

Olivia Stemen, Applicant for Planning Commission Vacancy, arrived for a question and answer session. Mrs. Stemen was born and raised in Jonesville and recently returned after being away for six (6) years. She is a member of several organizations; Multi Agency Collaborative in Emergency Services (MACES), a member of the Census-Complete County Committee and attends many Great Start Collaborative meetings. Olivia has a deep interest in serving her community, and with her current employer, Hillsdale County Community Foundation, it has provided her the opportunity to better understand the challenges of managing Jonesville's growth, improving the infrastructure and further development in the community.

Jim Ackerson arrived at 7:09 p.m.

Kayla Thompson, Applicant for Planning Commission Vacancy, arrived for a question and answer session. Mrs. Thompson was born and raised in Hillsdale and recently returned after being away from the County for several years. Mrs. Thompson is a member of the U of M Club of Hillsdale County. Kayla believes as a new resident of Jonesville with prior residential history in similar community sizes, her experience and vision would be beneficial to the growth and success of the City of Jonesville. As a former Rotary member for three (3) years, she takes pride in giving back to her community.

Discussion ensued regarding both applicants. Charles Crouch made a motion to recommend to City Council to offer the Planning Commission Vacancy Appointment to Olivia Stemen. Jerry Drake supported this motion. All in favor. Absent: Jim Taipalus. Abstain: Jim Ackerson. Motion carried.

Manager Gray gave a brief project update on the following: Water System Project, Smart Meter Project, MDOT Signal Project, and the availability to hold meetings in locations that allow for social distancing guidelines.

The next scheduled Planning Commission meeting is September 9, 2020 at 7:00 p.m.

A motion was made by Jerry Drake and supported by Jim Ackerson to adjourn the PC meeting at 7:38 p.m. All in favor. Absent: Jim Taipalus. Motion carried.

Submitted by;


Cynthia D. Means
Clerk



City of
Jonesville

265 E. Chicago Street, Jonesville, MI 49250

(517) 849-2104
(517) 849-9037 Fax
www.jonesville.org
manager@jonesville.org

To: Jonesville Planning Commission
From: Jeffrey M. Gray, City Manager 
Date: September 3, 2020
Re: Manager Report and Recommendations – September 9, 2020 Planning Commission Meeting

PLEASE NOTE that we intend to meet at **Wright Street Park**. Staff will provide tables and chairs for Planning Commissioners and the Planning Commission candidates. The public is welcome to attend and is encouraged to bring a lawn chair. Social distancing will be observed and masks are required where distancing cannot be maintained.

In the event of inclement weather, the meeting will be held by Zoom meeting. If a Zoom meeting is necessary, we intend to provide notice around 3:00 p.m. on the afternoon of September 9th.

6. A. Site Plan Review – Convenience King Group Inc. – 475 E. Chicago Street

[Action]

Owner/Applicant:	Convenience King Group Inc.
Property Location:	475 E. Chicago Street
Request:	Construct a new fuel canopy and reconfigure parking and on-site circulation

The property is the existing Citgo gas station and convenience store located on the north side of Chicago Street, west of Concord Road. The property location is illustrated in the attached site plan drawings. Larger copies of the plans are available for viewing at City Hall.

The property is 3.37 acres in area and has more than 430 feet of frontage on Chicago Street. Zoning and land use on the property and surrounding properties are as follows:

	Zoning	Land Use
Subject Property	HC (Highway Commercial)	Commercial
North	R-1 (Residential)	Undeveloped
South	R-2 (Residential)	Institutional (State Police Post)
East	HC (Highway Commercial)	Office
West	R-1 (Residential)	Residential

The applicant is proposing to remove the fuel pumps and canopy, as well as the existing parking and paved surfaces. These existing features encroach into the road right-of-way. A new canopy and pumps would be installed, along with reconfigured parking and vehicle circulation. This would include relocation of the west driveway and paving on the rear of the building for deliveries. These changes in the configuration are intended to improve the overall circulation on site.

The existing building size and location would be unchanged. Minor material changes are planned to the building façade. The applicant is proposing the installation of a new storage shed on the west side of the new parking area.

Site Plan Requirements:

Parking – Twenty-four paved parking spaces would be provided, sufficient to meet the requirements of the Zoning Ordinance for the fuel sales and convenience store.

Signs – No new signs are proposed at this time. Any future signage would require application for a Sign Permit from the City prior to installation.

Landscaping – No new site landscaping is proposed or required. The applicant proposes a dumpster enclosure, screened on all sides, on the northwest corner of the parking area. Details are not included in the plans. Staff would recommend a condition that the applicant provide details to assure that the enclosure meets the requirements of the Zoning Ordinance.

Vehicle Service Station – Specific conditions regarding the proposed canopy roof are listed in Section 2.15(D) of the Zoning Ordinance. The reconfigured canopy will meet the height and setback requirements. No information was received at the time of writing this report regarding the canopy lighting. The ordinance requires recessed lighting, or surface mounted lighting that functions like recessed lighting. This is to assure that lighting is directed downwards to serve customers, but to not act as a distraction or nuisance on surrounding properties and the street. Staff would recommend approval include a condition regarding the lighting.

Utilities:

The applicant proposes no changes to the current water or sanitary sewer services. Storm water detention would be provided on site and would be an improvement to the existing conditions. Mr. Drake has reviewed the design of the proposed storm drainage and has no concerns.

The applicant proposes relocation of the west driveway further west on the property to coincide with the on-site circulation improvements. Chicago Street (US-12) is under MDOT jurisdiction. The applicant has contacted the Michigan Department of Transportation (MDOT), to obtain the necessary approvals.

Recommended Action:

Site Plans are subject to the review standards listed in Section 15.05 of the Zoning Ordinance. A copy of these standards is attached. Staff would recommend a finding that the site plan meets the minimum requirements of the Ordinance. In addition, staff would note that the proposed changes will improve the overall appearance, function and safety of the property.

Based on the analysis above, staff would recommend that the Planning Commission consider the following motion:

A motion to approve the Site Plan Review request from Martinrea, for construction of a new fuel canopy and reconfiguration of parking and on-site circulation, on the property located at 475 E. Chicago Street. Approval is based on the plans prepared by AR Engineering (job # 2071001), dated August 12, 2020, with a finding that the plan meets the Review Standards listed in Section 15.05 of the Zoning Ordinance. Approval is subject to the following conditions:

1. The applicant shall provide details to confirm that the proposed dumpster enclosure meets the requirements of Section 26-4(c) of the Code of Ordinances for approval by City staff prior to construction.

2. The applicant shall provide details to confirm that the proposed canopy lighting meets the requirements of Section 2.15(C) of the Zoning Ordinance for approval by City staff prior to construction.
3. The applicant shall obtain approval from the Michigan Department of Transportation (MDOT) for work in the right-of-way of Chicago Street (US-12) prior to the start of construction.

Please refer to the enclosed copy of Section 15.05 of the Zoning Ordinance, Section 26-4(c) of the Code of Ordinances, Section 2.15(C) of the Zoning Ordinance, application and site plan drawing.

7. A. Project Updates

This section of the agenda is reserved for an update on current and pending projects in the City.

SECTION 15.05 REVIEW STANDARDS

The following standards shall be utilized in reviewing all site plans. These standards are intended to provide a frame of reference for the applicant in the preparation of site plans as well as for the reviewing authority in making judgment concerning them. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention, or innovation.

- A. The uses proposed will not adversely affect the public health, safety, or welfare. Uses and structures located on the site shall take into account topography, size of the property, the uses on adjoining property and the relationship and size of buildings to the site. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
- B. Safe, convenient, uncontested, and well-defined vehicular and pedestrian circulation shall be provided for ingress/egress points and within the site. Drives, streets and other circulation routes shall be designed to promote safe and efficient traffic operations within the site and at ingress/egress points.
- C. The arrangement of public or private vehicular and pedestrian connections to existing or planned streets in the area shall be planned to provide a safe and efficient circulation system for traffic.
- D. Removal or alteration of significant natural features shall be restricted to those areas which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. The Planning Commission may require that landscaping, buffers, and/or greenbelts be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property.
- E. Areas of natural drainage such as swales, wetlands, ponds, or swamps shall be protected and preserved insofar as practical in their natural state to provide areas for natural habitat, preserve drainage patterns and maintain the natural characteristics of the land.
- F. The site plan shall provide reasonable visual and sound privacy for all dwelling units located therein, and adjacent thereto. Fences, walls, barriers, and landscaping shall be used, as appropriate, to accomplish these purposes.
- G. All buildings and groups of buildings shall be arranged so as to permit reasonable necessary emergency vehicle access as requested by the Fire Department serving the Community.
- H. All streets and driveways shall be developed in accordance with the Community Subdivision Control Ordinance, the Hillsdale County Road Commission, or Michigan Department of Transportation specifications, as appropriate, unless developed as a private road in accordance with the requirements for private roads in this Ordinance. The Planning Commission may impose more stringent requirements than those for the Road Commission or Michigan Department of Transportation with respect to driveway location and spacing. In addition, sidewalks may be required if determined to be necessary or appropriate for pedestrians and non-motorized vehicles.

- I. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater, prevent erosion and the formation of dust. The use of detention/ retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic or create puddles in paved areas. Catch basins may be required to contain oil filters or traps to prevent contaminants from being discharged to the natural drainage system. Other provisions may be required to contain runoff or spillage from areas where hazardous materials are stored, or proposed to be stored.
- J. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not interfere with the vision of motorists along adjacent streets. Lighting of buildings or structures shall be minimized to reduce light pollution and preserve the rural and small town character of the community.
- K. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from Residential Districts or public streets, shall be screened by a vertical screen consisting of structural or plant materials no less than six (6) feet in height. The finished side of any wall, fence, or other screen shall face adjacent properties.
- L. Entrances and exits shall be provided at appropriate locations so as to maximize the convenience and safety for persons entering or leaving the site. The number of entrances to and exits from the site shall be determined with reference to the number of dwelling units or other land uses within the site, the nature and location of the surrounding streets, the effect of traffic in the area, nearby topography, and other factors.
- M. Site plans shall conform to all applicable requirements of County, State, Federal, and community statutes and ordinances. Approval may be conditioned on the applicant receiving necessary County, State, Federal, and community permits before final site plan approval or an occupancy permit is granted.
- N. Appropriate fencing may be required by the Planning Commission around the boundaries of the development if deemed necessary to minimize or prevent trespassing or other adverse effects on adjacent lands.
- O. The general purposes and spirit of this Ordinance and the Master Plan.

SECTION 15.06 CHANGES IN THE APPROVED SITE PLAN

Changes to the approved site plan shall be permitted only under the following circumstances:

- A. The holder of an approved site plan shall notify the Zoning Administrator of any proposed change to an approved site plan.
- B. Minor changes may be approved by the Zoning Administrator upon determining that the proposed revision(s) will not alter the basic design nor any specified conditions imposed as part of the original approval. Minor changes shall include the following:

Sec. 26-4. - Dumpsters.

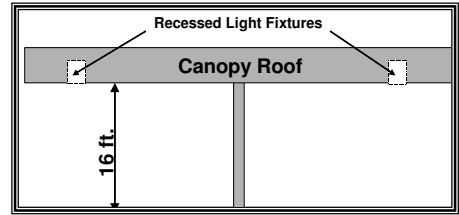
- (a) The term "dumpster" means a container of not less than one cubic yard capacity designed or utilized for the storage of garbage, trash or refuse. A zoning permit is required prior to placement of either a temporary or permanent dumpster. The permit must be approved and signed by the zoning administrator.
- (b) The placement of dumpsters is prohibited as an accessory use to single-family and two-family dwellings located in any zoning district; provided, however, that dumpsters may be utilized for a period not to exceed 90 days for the disposal of refuse from re-roofing, remodeling or similar projects. Dumpsters allowed under this section shall not be subjected to subsections (c) and (d) of this section.
- (c) All areas used for the storage of dumpsters shall be screened from public view by an obscuring fence constructed of masonry or wood, or by evergreen shrubbery. Such screening shall be not less than one foot higher than the height of the dumpster and must completely conceal the dumpster from public view, but in no case shall such screening be less than five feet in height on three sides. The inside dimensions of the screening enclosure shall be of a size sufficient to permit access to refuse collection personnel and refuse collection vehicles. Posts or bumpers shall be provided within the screening which will prevent damage to the screening walls. The floor surface of the area where the dumpster is stored shall be constructed of asphaltic or Portland concrete which complies with local building requirements. The concrete pad or asphalt pad shall be two feet longer and wider than any dumpster that is put on it.
- (d) Areas where dumpsters are stored must meet setback requirements applicable to accessory buildings. The storage areas must be located or arranged so that visibility from adjacent streets and sidewalks is minimal. An obscuring gate may be required when the visibility of the storage area from an adjacent street, sidewalk or use area is deemed to render an adverse influence. In no instance shall any such area be located in a required front yard, but may be located in a required side yard.
- (e) Dumpsters shall be permitted as an accessory use to multiple-family dwellings located in any zoning district, provided that the conditions in subsections (c) and (d) of this section are met.

(Code 1990, § 15-4; Res. of 11-3-2004)

SECTION 2.15 PROJECTIONS INTO YARDS

C. Canopy Roofs.

1. Canopy roofs, such as those for gas pump islands accessory to automobile service stations and other uses, drive-in restaurants, banks, and other similar uses shall be permitted to encroach into any required yard, provided that a minimum setback of twelve (12) feet is maintained from any property line.
2. The height of the canopy roof shall not exceed sixteen (16) feet and be open on all sides.
3. The colors and design of the canopy shall be compatible with the main building.
4. Lighting and signs on or within the canopy shall comply with the requirements of this Ordinance. Lights, including lenses and other portions of the lighting fixture, used for canopies shall be completely recessed in the canopy structure and shall not extend below the underside surface of the canopy, except that such fixtures may be surface mounted, provided that the fixtures are designed and constructed to achieve the same effect as the flush mounted fixture.



CITY OF JONESVILLE
PLANNING COMMISSION
SPECIAL LAND USE/SITE PLAN REVIEW
265 E. Chicago Street
Jonesville Michigan 49250
Phone: 517-849-2104 Fax: 517-849-9037

RECEIVED
AUG 24 2020
BY: _____

DATE: 08/20/2020

Applicant:

Name	Jim Linton	Business Name	Convenience King Group Inc
Street Address	203 W Main St. Homer, MI 49245	Email Address	jlinton@folkoil.com
Cell Phone Number		Fax Phone Number	
		Phone Number	(517) 568-4114

Zoning District: HC (large) and R1 (small)

Site Plan Review Fee: \$100.00

Special Land Use Fee: \$500.00

Proposed Use:

It is hereby requested that the City of Jonesville Planning Commission approve the issuance of a Special Land Use Permit or Site Plan Review for:
Canopy and parking/fueling reconfiguration

Existing Use of Property:

Jonesville Quick Stop Gas Station

Proposed Location: Address: 475 E Chicago Street Jonesville, MI 49250

Property Tax ID#: 30-21-280-001-096 and 30-21-280-001-095

Statement of Justification for Requested Action:

State specifically the reason for this Special Land Use/Site Plan Review Permit request.
Demolition and reconstruction of the canopy, parking, and tank farm

Dimensions of Land:

Width: 223.01', 199.58', 23.82'

Length: 454.57'

Acreage: 3.37

Frontage: 453.72'

Existing Zoning Classification and Zoning of Adjacent Properties:

Existing: 30-21-280-001-096 HC, 30-21-280-001-095 R1; Adjacent: HC, R1, R2

Please note that submitted site plans shall include all of the information required in Section 15.03(F) of the Zoning Ordinance.

Signature of Applicant

Date:

8/20/20

Signature of Property Owner

Date:

Official Use Only	
Fee Paid	<u>100.00</u>
Date Paid	<u>8/24/20</u>
Receipt #	<u>3324</u>
Date of Hearing:	<u>9/9/20</u>

JONESVILLE QUICKSTOP GAS STATION

**475 E CHICAGO ST.
SECTION 33, T.5S, R.3W
JONESVILLE, MI
HILLSDALE COUNTY, MI**

SITE DEVELOPMENT PLANS AUGUST 12, 2020

ISSUED FOR: OWNER REVIEW

SHEET INDEX

No.	SHEET TITLE
T1.0	TITLE SHEET
C1.0	EX CONDITIONS - DEMO PLAN
C2.0	SITE LAYOUT
C3.0	UTILITY PLAN
C4.0	GRADING - SESC PLAN
C5.0	DETAILS
L1.0	LANDSCAPE PLAN
.	.
.	.
.	.
.	.
.	.

OWNERS:

JIM LINTON

DEVELOPER:

CONVENIENVE KING GROUP INC
203 W MAIN ST
HOMER, MI 49245
TEL. (517) 568-4114

REVISIONS

No.	ISSUED FOR:	DATE:	BY:
0	OWNER REVIEW	08/12/20	ar
1	.	.	.
2	.	.	.
3	.	.	.
4	.	.	.
5	.	.	.

CIVIL ENGINEER:

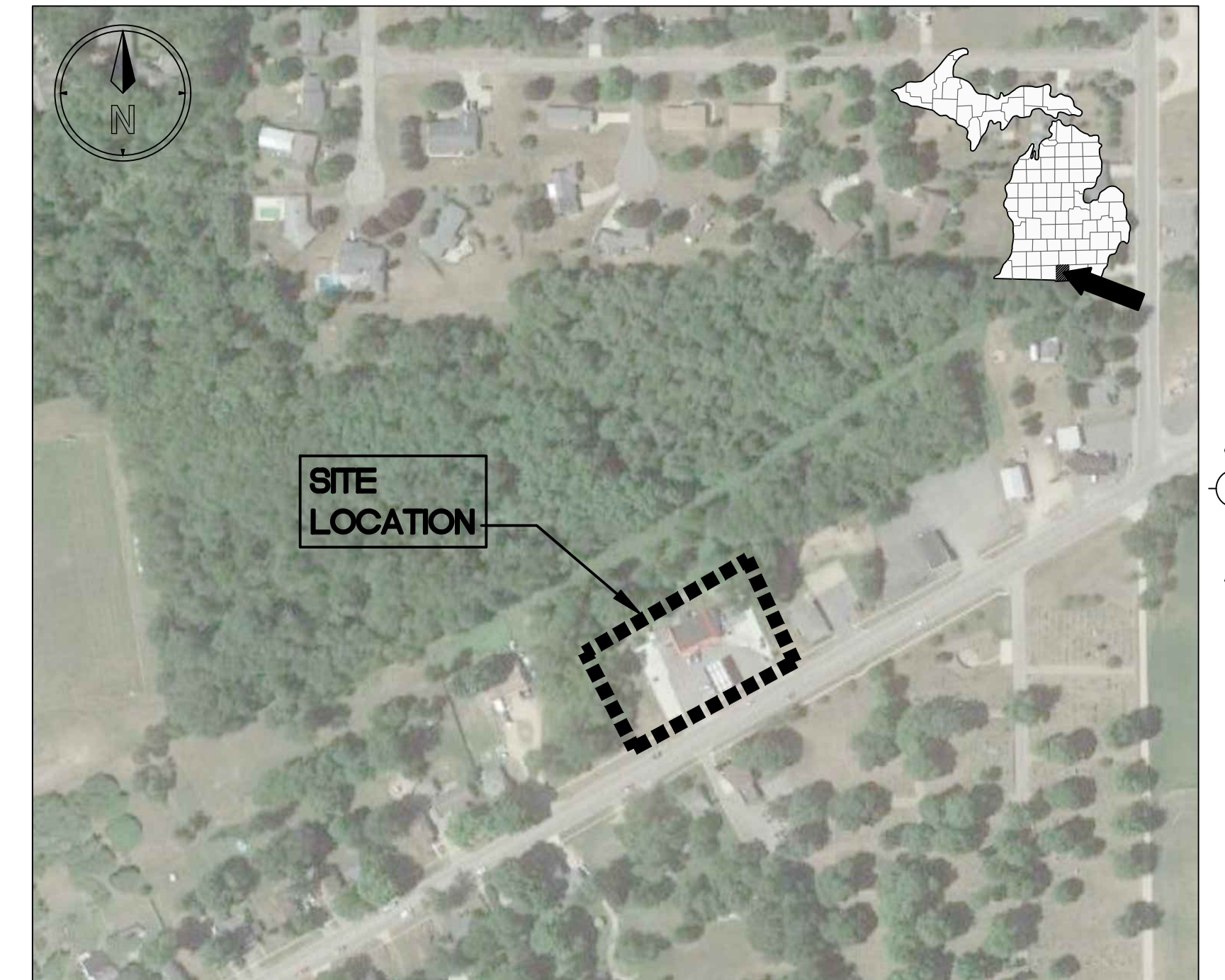
AR ENGINEERING, LLC.
5725 VENTURE PARK DRIVE, SUITE A
KALAMAZOO, MI 49008
TEL. (269) 250-5991 FAX. (866) 569-0604



ANDREW ROSSELL, P.E.

DATE

LOCATION MAP NOT TO SCALE



41°59'14.7"N 84°39'13.2"W

LEGAL DESCRIPTION

PARCEL #: 30-21-280-001-096 & 30-21-280-001-095

LEGAL DESCRIPTION PER DEED LIBER 486.PG.334:

LOT NO. 87 OF SUPERVISOR'S PLAT NO. 1 OF THE VILLAGE OF JONESVILLE, TOWNSHIP OF FAYETTE, HILLSDALE MICHIGAN, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 3, PAGE 16 OF PLATS.

ALSO: COMMENCING AT THE NORTHEASTERLY CORNER OF LOT NO. 87 OF SUPERVISORS PLAT NO. 1 OF THE VILLAGE OF JONESVILLE, HILLSDALE COUNTY, MICHIGAN AND RUNNING THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT NO. 87 438.25 FEET TO THE EAST LINE OF LOT NO. 86 OF SAID PLAT; THENCE NORTH 150 FEET; THENCE EASTERLY AND PARALLEL WITH THE NORTHERLY LINE OF SAID NOT NO. 87 438.25 FEET; THENCE SOUTH 150 FEET TO THE PLACE OF BEGINNING AND BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 33 IN TOWNSHIP 5 SOUTH, RANGE 3 WEST.

**LOT 86 OWNED BY JONESVILLE PUBLIC SCHOOLS PER DEED LIBER 792 OF 850

EXISTING STRUCTURE DATA

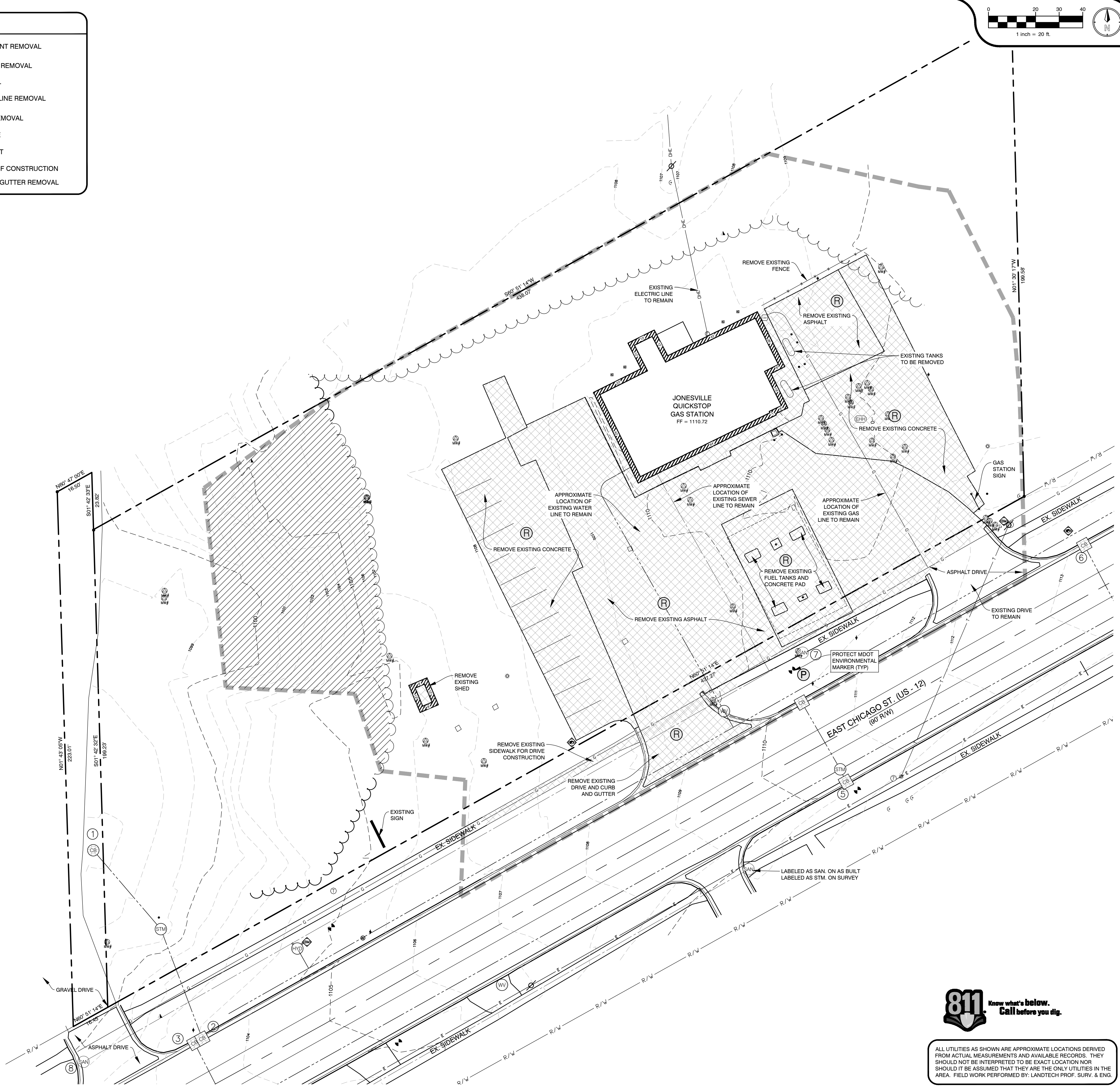
- ① CATCH BASIN
RIM = 1096.41
W. INV. (12" METAL) = 1093.71
S. INV. (12" METAL) = 1094.11
- ② CATCH BASIN
RIM = 1103.37
W. INV. (12" CONC) = 1100.05
- ③ CATCH BASIN
RIM = 1103.30
E. INV. (12" CONC) = 1099.74
S. INV. (12" CONC) = 1099.70
- ④ CATCH BASIN
RIM = 1103.24
N. INV. (12" CONC) = 1099.74
- ⑤ CATCH BASIN
RIM = 1110.32
N. INV. (12" CONC) = 1107.24
- ⑥ CATCH BASIN
RIM = 1113.07
S. INV. (12" CONC) = 1109.67
- ⑦ SAN SEWER MH
RIM = 1110.43
E. INV. (8" CONC) = 1100.23
W. INV. (8" CONC) = 1100.13
NW. INV. (4" PLASTIC) = 1104.67
- ⑧ SAN SEWER MH
RIM = 1100.72
E. INV. (8" CONC) = 1090.62
W. INV. (8" CONC) = 1091.02
N. INV. (6" PLASTIC) = 1091.42

LEGEND

- PAVEMENT REMOVAL
- GRAVEL REMOVAL
- SAWCUT
- UTILITY LINE REMOVAL
- TREE REMOVAL
- REMOVE
- PROTECT
- LIMITS OF CONSTRUCTION
- CURB & GUTTER REMOVAL

DEMOLITION NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY JONESVILLE, MI, MDOT AND HILLSDALE COUNTY.
- CONTACT '811' AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE '811' ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
- ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
- REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
- SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
- ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
- ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
- REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE FORMER BUILDINGS, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: LANDTECH PROF. SURV. & ENG.

PLANS PREPARED BY:



DRAWN: ar
CHECKED: ASR

No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	08/12/20	ar
1			
2			
3			
4			

EXISTING CONDITIONS
JONESVILLE PS FOOD MART
CONVENIENCE KING GROUP INC

SHEET TITLE:
PROJECT:
CLIENT:

JOB NUMBER
2071001

DATE
08/12/20

SHEET NUMBER
C1.0

SITE DATA

1. PROPERTY INFORMATION:

PARCEL #: 30-21-280-001-096 AND 30-21-280-001-095

SITE AREA: 146,797 SF (3.37 AC)

OWNER: JIM LINTON

DEVELOPER: CONVENIENCE KING GROUP INC
JIM LINTON, OWNER
203 W MAIN ST
HOMER, MI 49245
PHONE: (517) 568-4114
FAX: N/A
E-MAIL: JLINTON@FOLKLOIL.COM

4. PARKING:
REQUIRED = (1) PARKING SPACE FOR EACH SERVICE STALL, PLUS (1) PARKING SPACE FOR EACH PUMP ISLAND.

PROVIDED = STANDARD 9'X20' SPACES = 23
BARRIER FREE SPACES = 2
TOTAL PROVIDED = 25

2. ZONING:

PROPERTY CURRENTLY ZONED HC - HIGHWAY COMMERCIAL (30-21-280-001-096) AND R-1 - RESIDENTIAL (30-21-280-001-095)

ABUTTING PROPERTY CURRENTLY ZONED:

NORTH: R-1 RESIDENTIAL
SOUTH: R-2 RESIDENTIAL
EAST: HC HIGHWAY COMMERCIAL
WEST: R-1 RESIDENTIAL

PROPOSED LAND USE = VEHICLE SERVICE STATION

3. SETBACKS

FRONT = 40' FROM R/W
SIDES = 30' ABUTTING RESIDENTIAL
= 10' ABUTTING OTHER DISTRICTS
REAR = 50' ABUTTING RESIDENTIAL
= 25' ABUTTING OTHER DISTRICTS

5. BUILDING:

SINGLE STORY (18')
MAXIMUM HEIGHT: 35'
TOTAL AREA OF 7,263 SFT.
PROPOSED BUILDING COVERAGE: 6%
MAXIMUM BUILDING COVERAGE: N/A

6. LOT:

MINIMUM LOT SIZE: 43,560
MINIMUM LOT WIDTH: 220 FT
LOT SIZE: 146,797 SFT/ 3.37 ACRES
LOT DIMENSIONS: IRREGULAR, SEE PLAN

7. LANDSCAPING:

SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.

8. STORM WATER DETENTION REQUIRED:

STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY STORM WATER GUIDELINES.

SITE PLAN NOTES

[A] BITUMINOUS PAVEMENT (SEE DETAIL SHEET).

[B] 18' X 18' (MIN.) - 6" CONCRETE DUMPSTER PAD (PROVIDE 18' X 12' DUMPSTER ENCLOSURE. AREA FOR (2) STD DUMPSTERS (SEE DETAIL SHEET)).

[C] AT GRADE SIDEWALK.

[D] AT-GRADE RAMP (SEE GRADING PLAN).

[E] GAS STATION ISLAND (DISPENSER, BUMPER GUARD, COLUMN FOR CANOPY) (SEE BLOW-UP THIS SHEET)

[F] CANOPY

[G] EXISTING LIGHTED PYLON SIGN W/ UNDERGROUND ELECTRICAL.

[H] BOLLARDS - (15) TOTAL

[L] DOWNSPOUT (TYP.)

[J] PAINT/ STRIPING (SEE DETAIL SHEET)

[K] 4" PAINTED PARKING LOT MARKING/ STRIPING (TYP.)

[L] LIGHT POLE (SEE L2.0 PHOTOMETRIC SHEET)

[M] ASPHALT VALLEY GUTTER (SEE DETAIL SHEET)

[N] CONCRETE BARRIER CURB (SEE DETAIL SHEET)

[O] PROVIDE CONCRETE WHEEL STOPS (SEE DETAIL THIS SHEET)

[P] PROPOSED F4 CURB AND GUTTER, M OPENING


[Q] STRIPED PEDESTRIAN WALKWAY


[R] RACING FUEL DISPENSER, MODEL NAO

[S] BOLLARDS - (2) TOTAL

LEGEND

 CONCRETE SIDEWALK AND PAD
(SEE DETAIL ON C5.0)

 CONCRETE PAVEMENT
(SEE DETAIL ON C5.0)

 CONCRETE PAVEMENT IN R/W
(SEE DETAIL ON C5.0)

BENCHMARK INFORMATION

BM #1
ELEV=1114.16
NAIL IN POWER POLE

BM #2
ELEV=1106.91
TOP BOLT ON HYDRANT

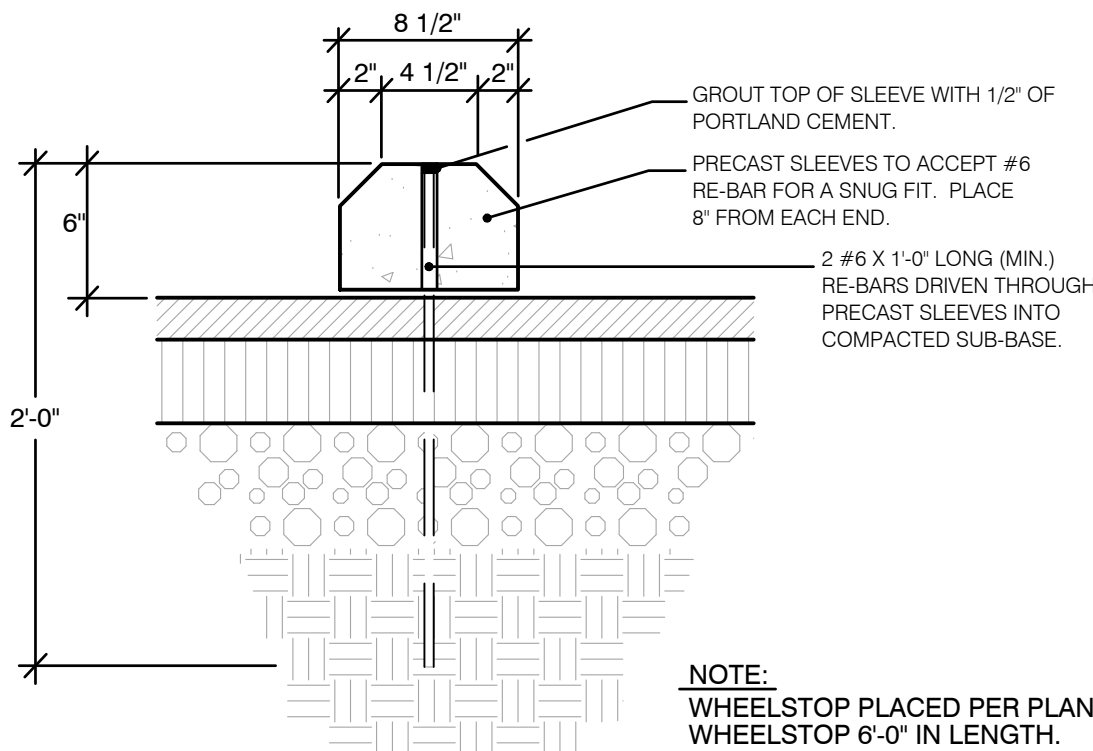
GENERAL NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

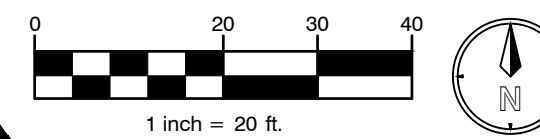
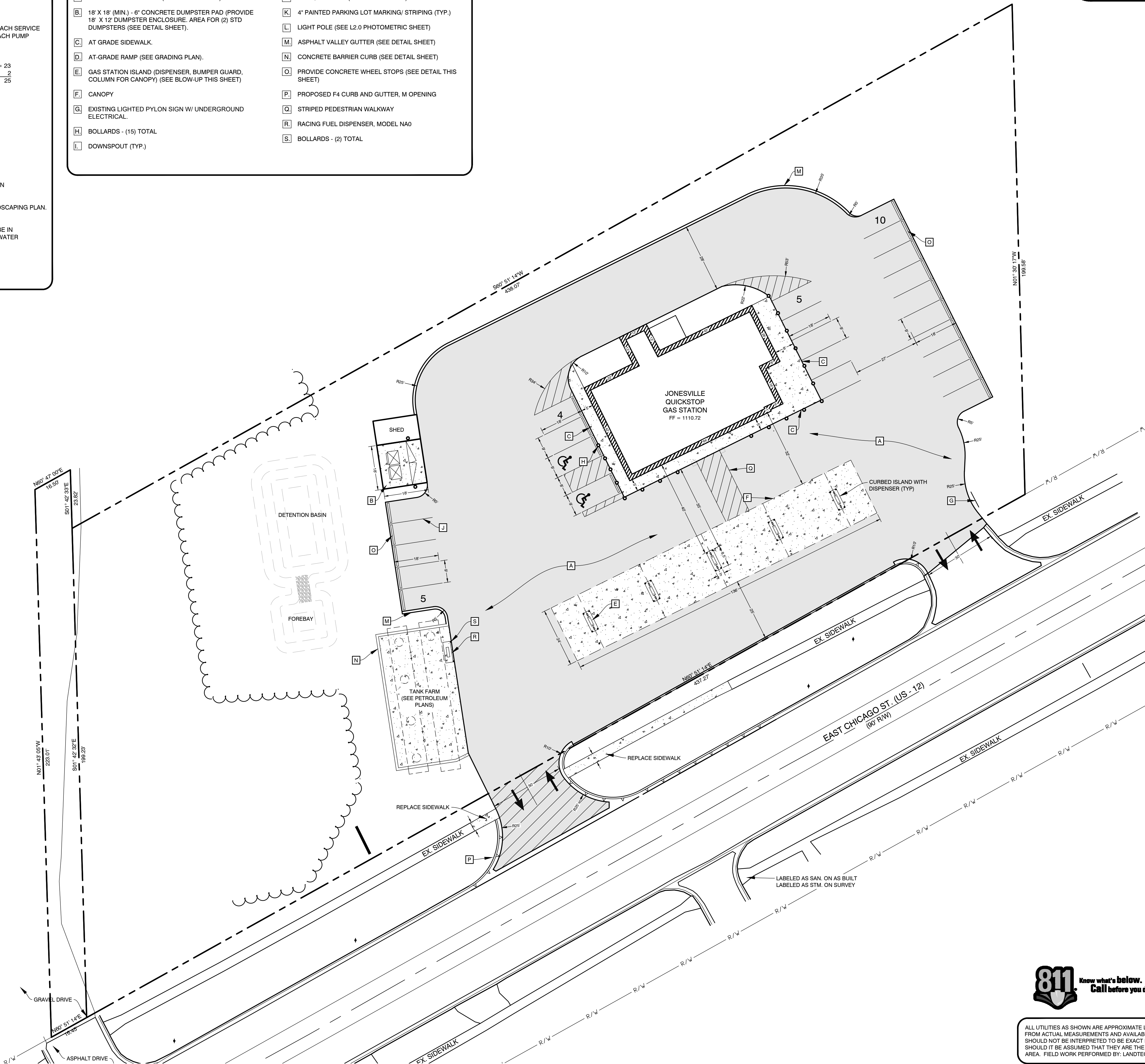
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

3. ALL CURB RADII AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.

4. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING, SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.



CONCRETE WHEEL STOP DETAIL
C2.0 - 030102 NOT TO SCALE



PLANS PREPARED BY:



Civil Engineers & Surveying
MICHIGAN | INDIANA | ILLINOIS | OHIO
269.250.5991 PHONE | 269.259.0554 FAX
www.arengineeringllc.com

DRAWN: ar

CHECKED: ASR

No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	08/12/20	ar
1			
2			
3			
4			

SITE LAYOUT
JONESVILLE PS FOOD MART
CONVENIENCE KING GROUP INC

SHEET TITLE:
PROJECT:
CLIENT:

JOB NUMBER
2071001

DATE
08/12/20

SHEET NUMBER

C2.0



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: LANDTECH SURV. & ENG.

STORM STRUCTURE DATA

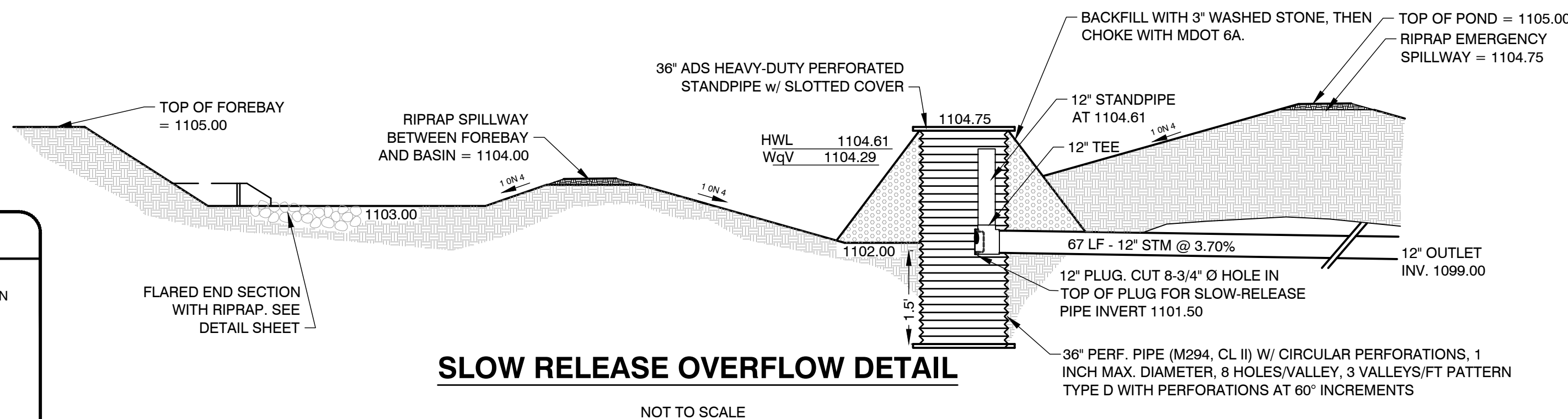
CB-1, 2' DIA, EJIW 5105 RIM = 1101.18 12" HDPE SW	CB-3, 2' DIA, EJIW 5105 RIM = 1108.65 12" HDPE SW	CB-5, 4' DIA, EJIW 5105 RIM = 1108.33 12" HDPE N 12" HDPE E 12" HDPE W	1104.43 1105.74 1104.43*
CB-2, 4' DIA, EJIW 5105 RIM = 1101.14 12" HDPE NE 12" HDPE SW	CB-4, 4' DIA, EJIW 5105 RIM = 1109.38 12" HDPE NE 12" HDPE S	* ON OUTLET, INSTALL DOWNTURN ELBOW WITH 1' OF 12" PIPE ON OUTLET	

SITE MATERIALS & CONSTRUCTION NOTES:

- SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
- REMOVE ALL SUBGRADE GRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
- STORM SEWER SHALL BE CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR WALL, BY ADS OR EQUAL. LEACHING BASINS AND MANHOLES ARE TO BE REINFORCED CONCRETE WITH RIM AND SLOTTED GRATING (AS SHOWN). STORM SEWER & LEACHING BASINS ARE TO BE WRAPPED WITH FILTER FABRIC.
- SANITARY SEWER PIPE MAY BE PVC SDR 3034 MATERIAL.
- ALL WATER SERVICE LINES SHALL BE 1" PE PIPE WITHIN 5' OF BUILDING, WITH COMPRESSION FITTINGS OR MECHANICAL FITTINGS OTHER THAN FLARED ENDS. PROVIDE 5' COVER FROM FINISHED GRADE.
- PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL WATER SERVICE LINES, IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
- PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL SANITARY SEWER LINES, IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
- MAINTAIN 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER MAIN UTILITIES. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE UTILITIES CROSS.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- EXTERIOR CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE 4 - 6 % AIR ENTRAINMENT WITH A BROOM FINISH.
- EXPANSION JOINTS IN CONCRETE PAVEMENT AND WALLS SHALL BE 1/2" ASPHALT IMPREGNATED FULL DEPTH 40' O.C. MAXIMUM & AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING AT SIDEWALK WIDTH DIMENSION AND @ 10'-0" O.C. IN DRIVES.

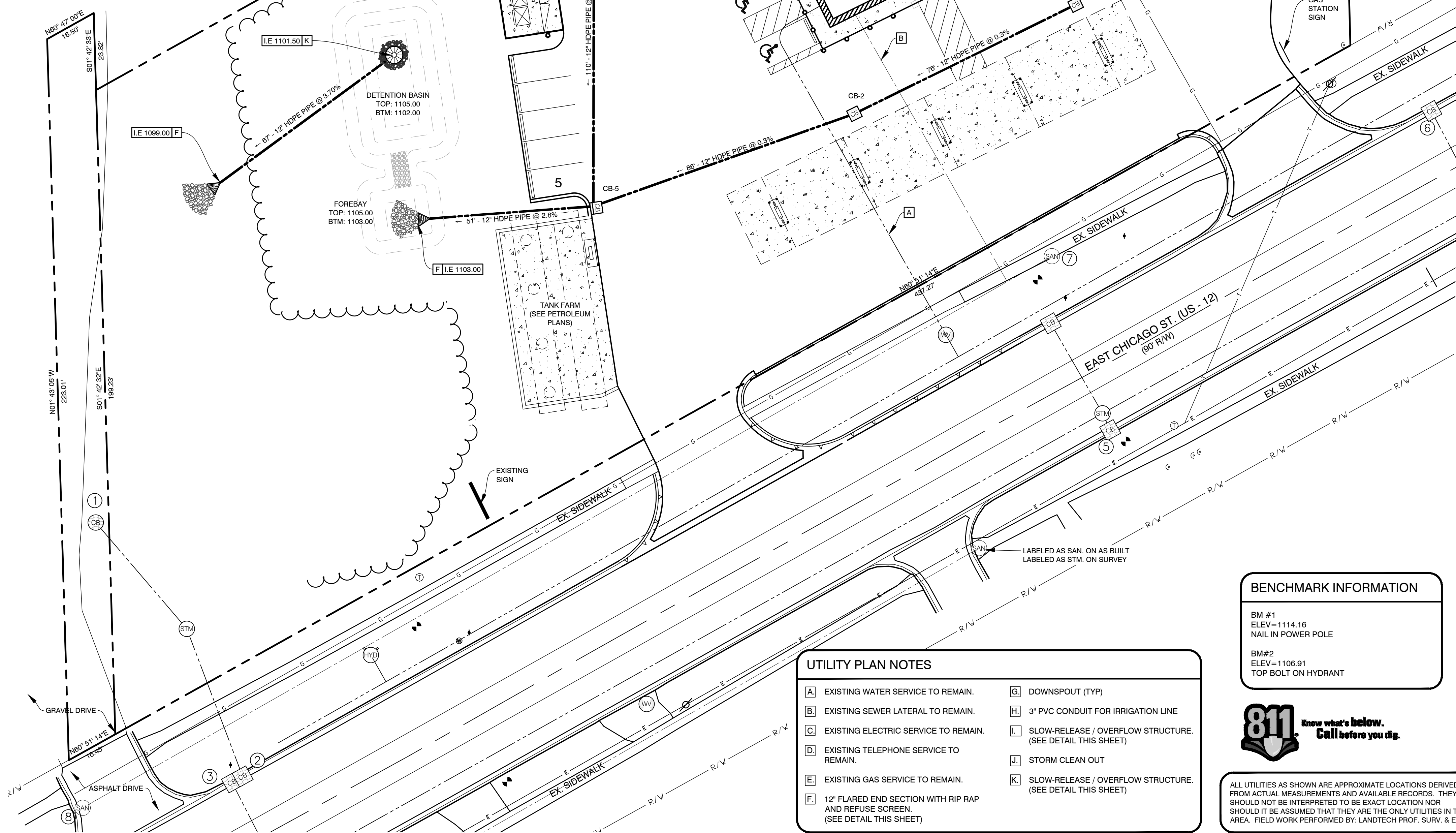
GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.E.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
- ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
- ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
- ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
- WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER EGLE AND THE JONESVILLE, MI REQUIREMENTS.
- SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF THE JONESVILLE, MI AND THE MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY.
- ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT).
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
- CONTACT "MISS DIG" AT 1-800-382-5544 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEED REPAIRED, IT MUST MEET THE JONESVILLE, MI SPECIFICATIONS.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
- THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS EXPENSE.
- REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAILS SHEETS FOR THE FIXTURE AND POLE SPECIFICATIONS.
- DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
- CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
- THE CONTRACTOR IS TO PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE EXISTING MAIN. THE CONTRACTOR SHALL MAKE THE CONNECTION TO THE SHUT OFF VALVE, THE CONTRACTOR SHALL COORDINATE SERVICES WITH THE CITY OF JONESVILLE WATER DIVISION.
- CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ONSITE.
- MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SUMP OF TWO FEET.
- ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY THE MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY FOR THE SPECIFIC REGION OF WORK IN HILLSDALE COUNTY.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED BY TTL.
- DRIVEWAY LAYOUT AND CONNECTION US-12 SHALL COMPLY WITH ALL ASPECTS OF THE MDOT DRIVE PERMIT.



EXISTING STRUCTURE DATA

- | | |
|--|--|
| ① CATCH BASIN
RIM = 1096.41
W. INV. (12" METAL) = 1093.71
S. INV. (12" METAL) = 1094.11 | ⑥ CATCH BASIN
RIM = 1113.07
S. INV. (12" CONC) = 1109.67 |
| ② CATCH BASIN
RIM = 1103.37
W. INV. (12" CONC) = 1100.05 | ⑦ SAN SEWER MH
RIM = 1110.43
E. INV. (8" CONC) = 1100.23
W. INV. (8" CONC) = 1100.13
NW. INV. (4" PLASTIC) = 1104.67 |
| ③ CATCH BASIN
RIM = 1103.30
E. INV. (12" CONC) = 1099.74
S. INV. (12" CONC) = 1099.70 | ⑧ SAN SEWER MH
RIM = 1100.72
E. INV. (8" CONC) = 1090.62
W. INV. (8" CONC) = 1091.02
N. INV. (6" PLASTIC) = 1091.42 |
| ④ CATCH BASIN
RIM = 1103.24
N. INV. (12" CONC) = 1099.74 | |
| ⑤ CATCH BASIN
RIM = 1110.32
N. INV. (12" CONC) = 1107.24 | |



UTILITY PLAN NOTES

- | | |
|--|--|
| [A] EXISTING WATER SERVICE TO REMAIN. | [G] DOWNSPOUT (TYP) |
| [B] EXISTING SEWER LATERAL TO REMAIN. | [H] 3" PVC CONDUIT FOR IRRIGATION LINE |
| [C] EXISTING ELECTRIC SERVICE TO REMAIN. | [I] SLOW-RELEASE / OVERFLOW STRUCTURE. (SEE DETAIL THIS SHEET) |
| [D] EXISTING TELEPHONE SERVICE TO REMAIN. | [J] STORM CLEAN OUT |
| [E] EXISTING GAS SERVICE TO REMAIN. | [K] SLOW-RELEASE / OVERFLOW STRUCTURE. (SEE DETAIL THIS SHEET) |
| [F] 12" FLARED END SECTION WITH RIP RAP AND REFUSE SCREEN. (SEE DETAIL THIS SHEET) | |

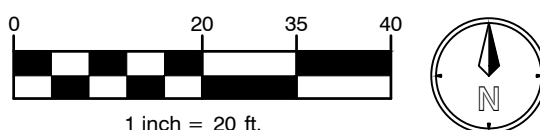
BENCHMARK INFORMATION

BM #1
ELEV=1114.16
NAIL IN POWER POLE

BM #2
ELEV=1106.91
TOP BOLT ON HYDRANT



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: LANDTECH PROF. SURV. & ENG.



PLANS PREPARED BY:



Civil Engineers & Surveying
MICHIGAN | INDIANA | ILLINOIS | OHIO
248.250.5891 PHONE | 866.589.0664 FAX
www.arengineeringllc.com

DRAWN: ar
CHECKED: ASR

No.	DATE	BY	ISSUED FOR:	OWNER REVIEW
0	08/12/20	ar		
1				
2				
3				
4				

UTILITY PLAN
JONESVILLE PS FOOD MART
CONVENIENCE KING GROUP INC

SHEET TITLE:
PROJECT:
CLIENT:

JOB NUMBER
2071001

DATE
08/12/20

SHEET NUMBER

C3.0

GRADING NOTES

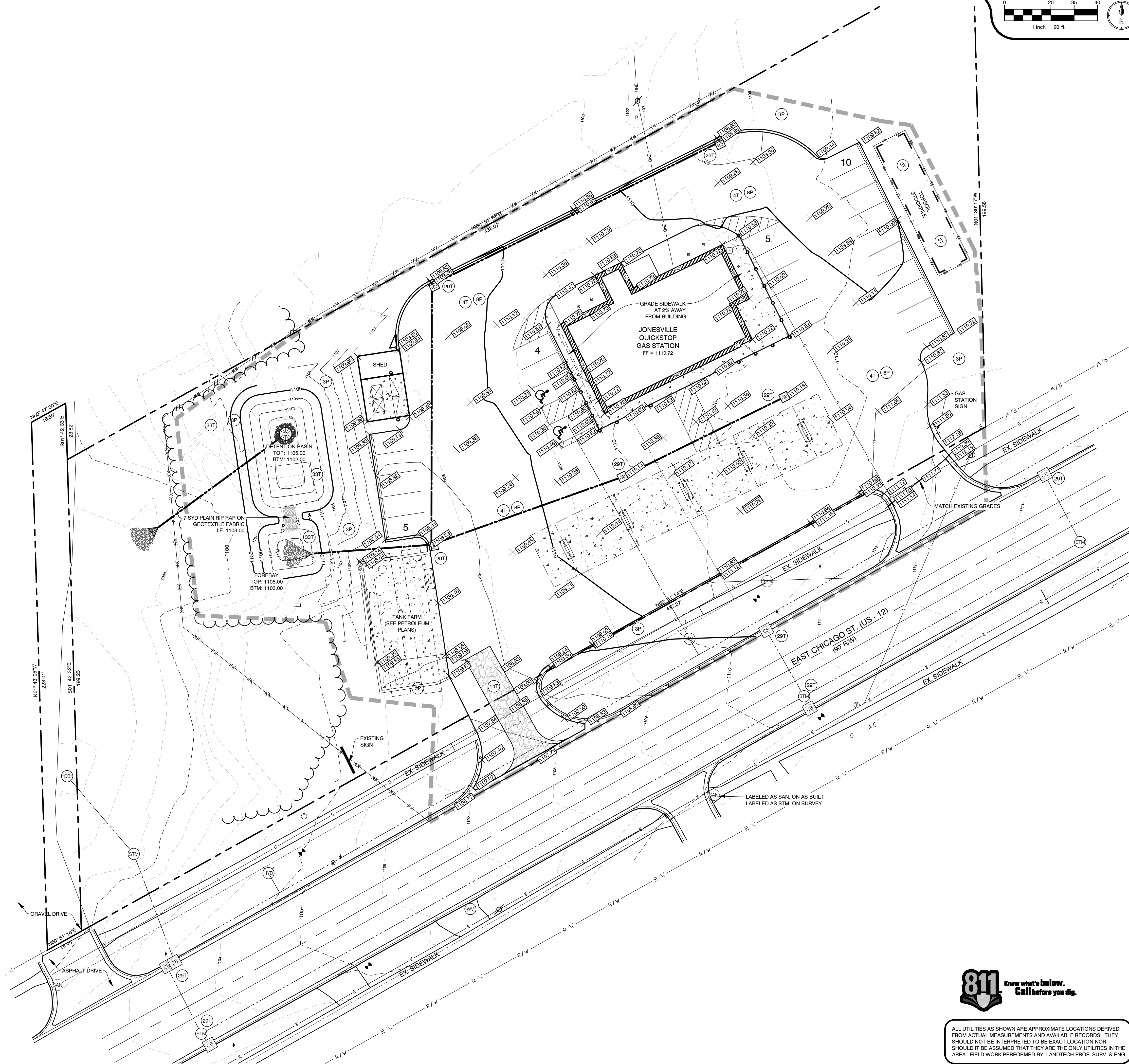
1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
3. CONTACT "811" AT 1-800-382-5544 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT PREPARED BY TTL DATED MAY 2016.
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MDOT-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM EGLE, IF APPLICABLE, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
 2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
 3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
 4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
 5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.
- # NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS PER MDOT STANDARD PLANS, SOIL EROSION & SEDIMENTATION CONTROL MEASURES. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.
- 3P DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, MDOT SEEDING MIXTURE TUP APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)
- 3T DENOTES TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE CEREAL RYE SEED APPLIED AT A RATE OF 70 LB/ACRE AND MULCH.
- 4T DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE ITEM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER (INCLUDED IN THE ITEM OF AGGREGATE BASE, 6 INCH) AND APPLYING DUST PALLIATIVE, APPLIED, CaCl₂ (TON) AS DIRECTED BY THE PROJECT ENGINEER.
- 8P DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION
- 14T DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE
- 26T DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
- 29T DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.
- 33T DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA.

LEGEND

- LIMITS OF CONSTRUCTION
- SILT FENCE



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: LANDTECH PROF. SURV. & ENG.

PLANS PREPARED BY:



Civil Engineers & Surveying
MICHIGAN | INDIANA | ILLINOIS | OHIO
248.250.5891 PHONE | 248.250.5891 FAX
www.arengineeringllc.com

DRAWN: ar
CHECKED: ASR

No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	08/12/20	ar
1			
2			
3			
4			

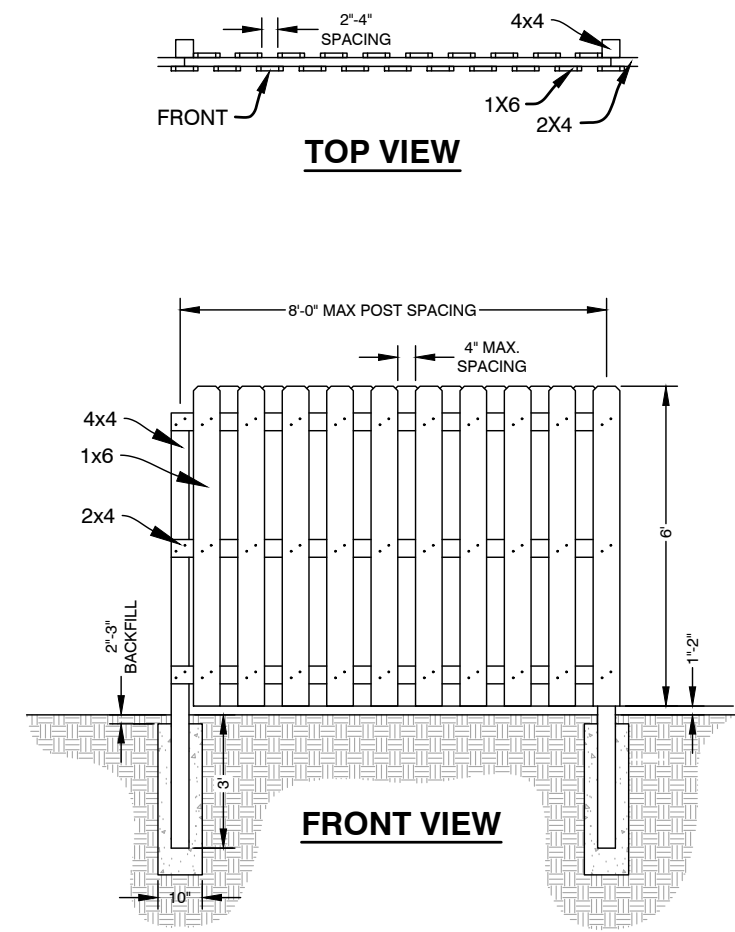
GRADING - SESC PLAN
JONESVILLE PS FOOD MART
CONVENIENCE KING GROUP INC

SHEET TITLE:
PROJECT:
CLIENT:

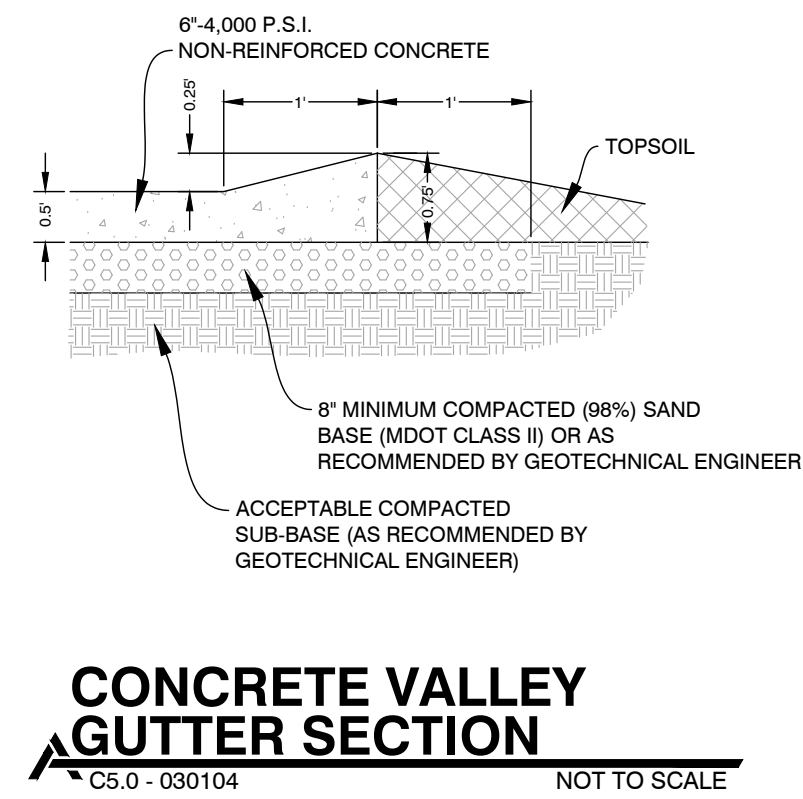
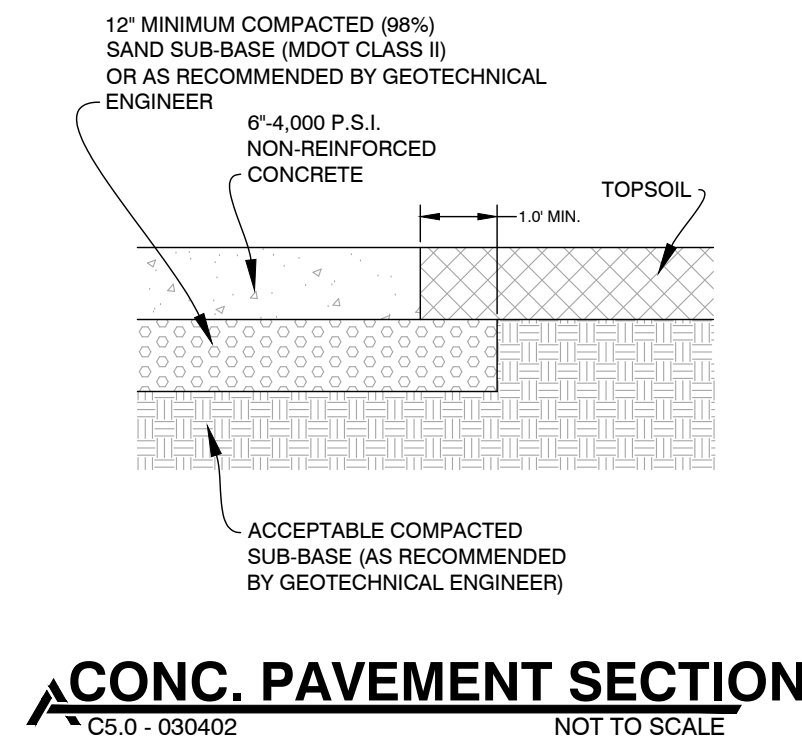
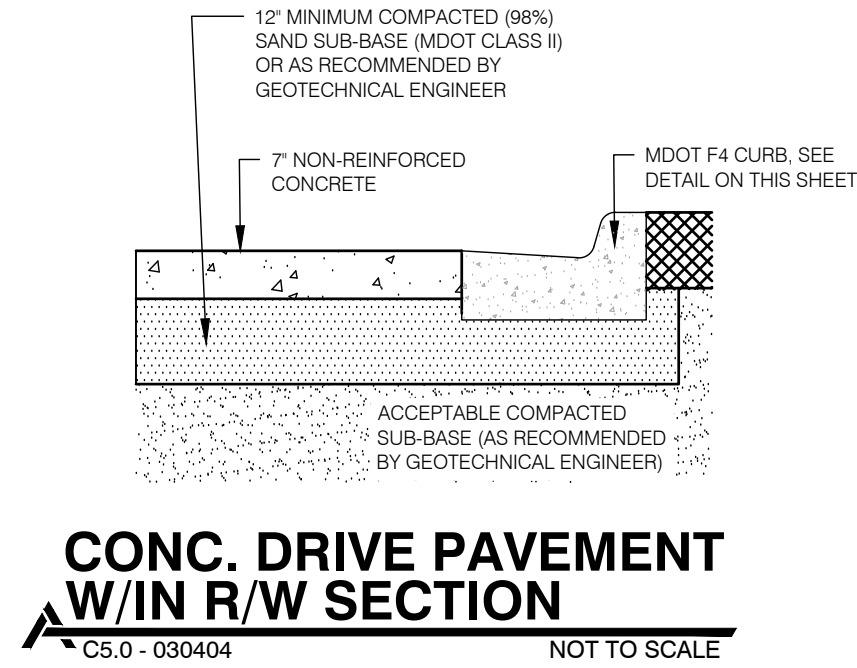
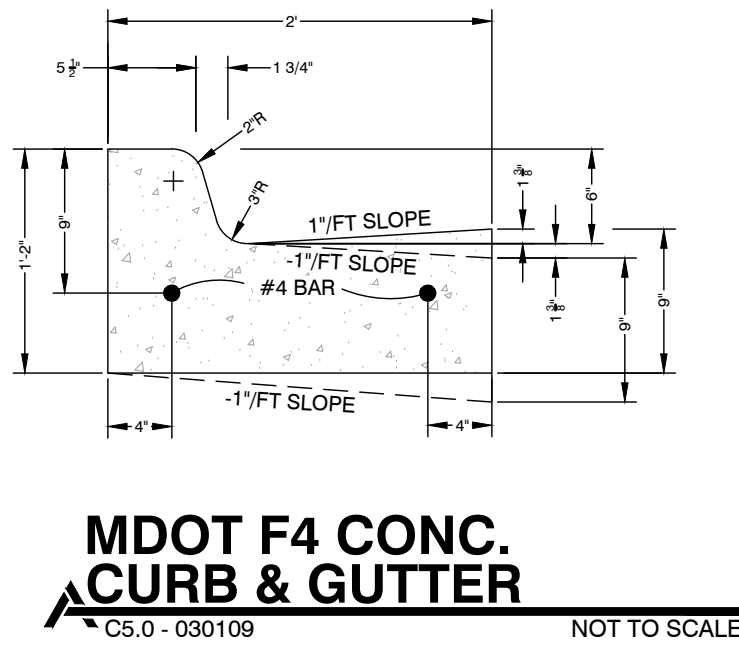
JOB NUMBER
2071001

DATE
08/12/20

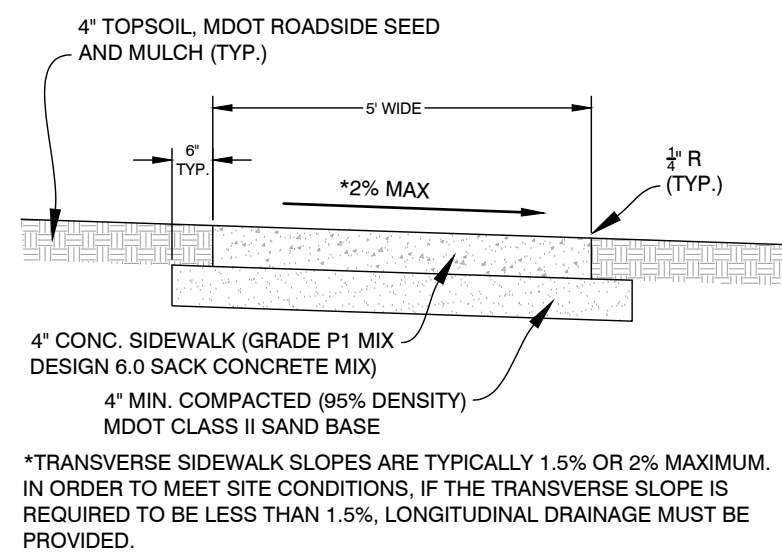
SHEET NUMBER
C4.0



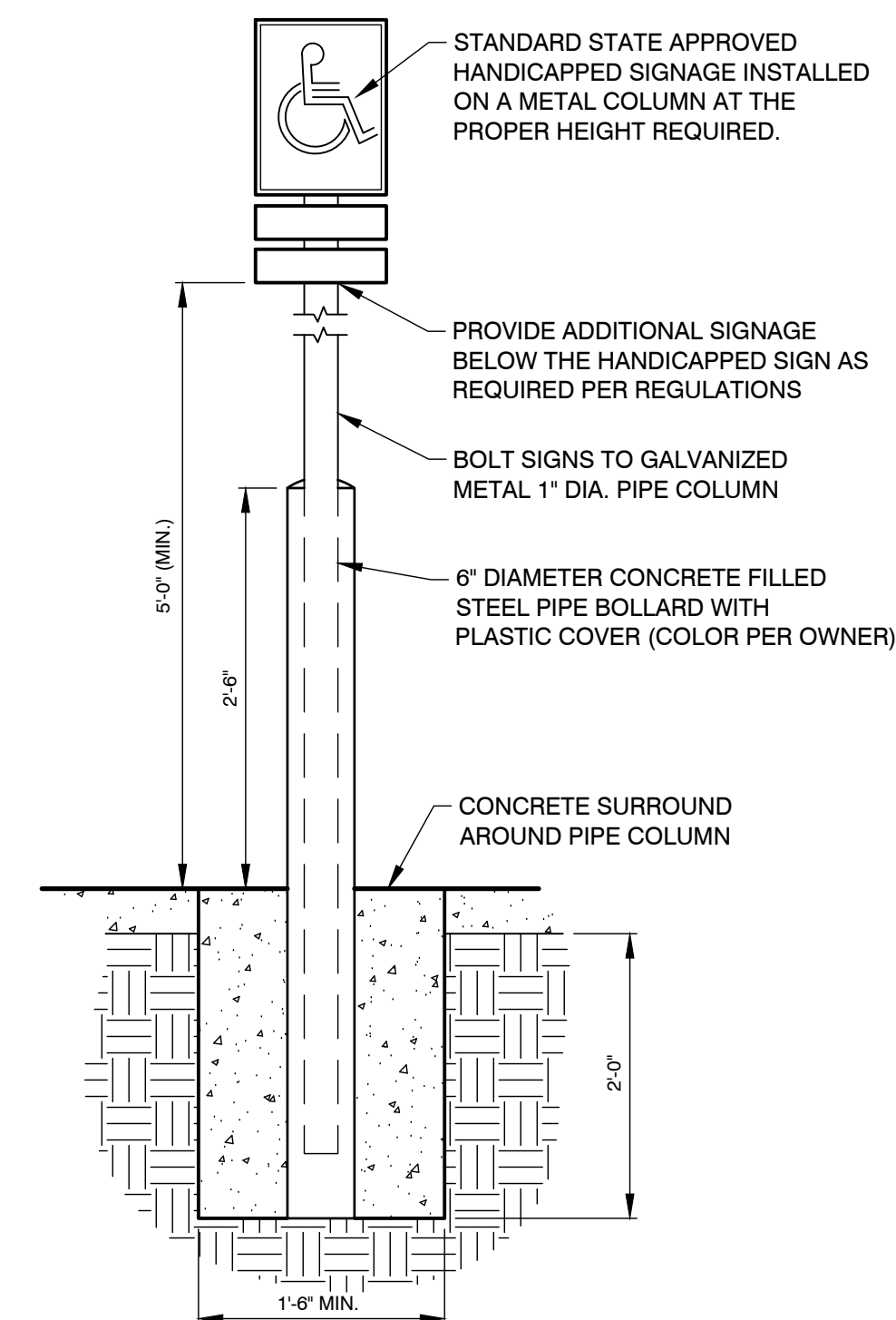
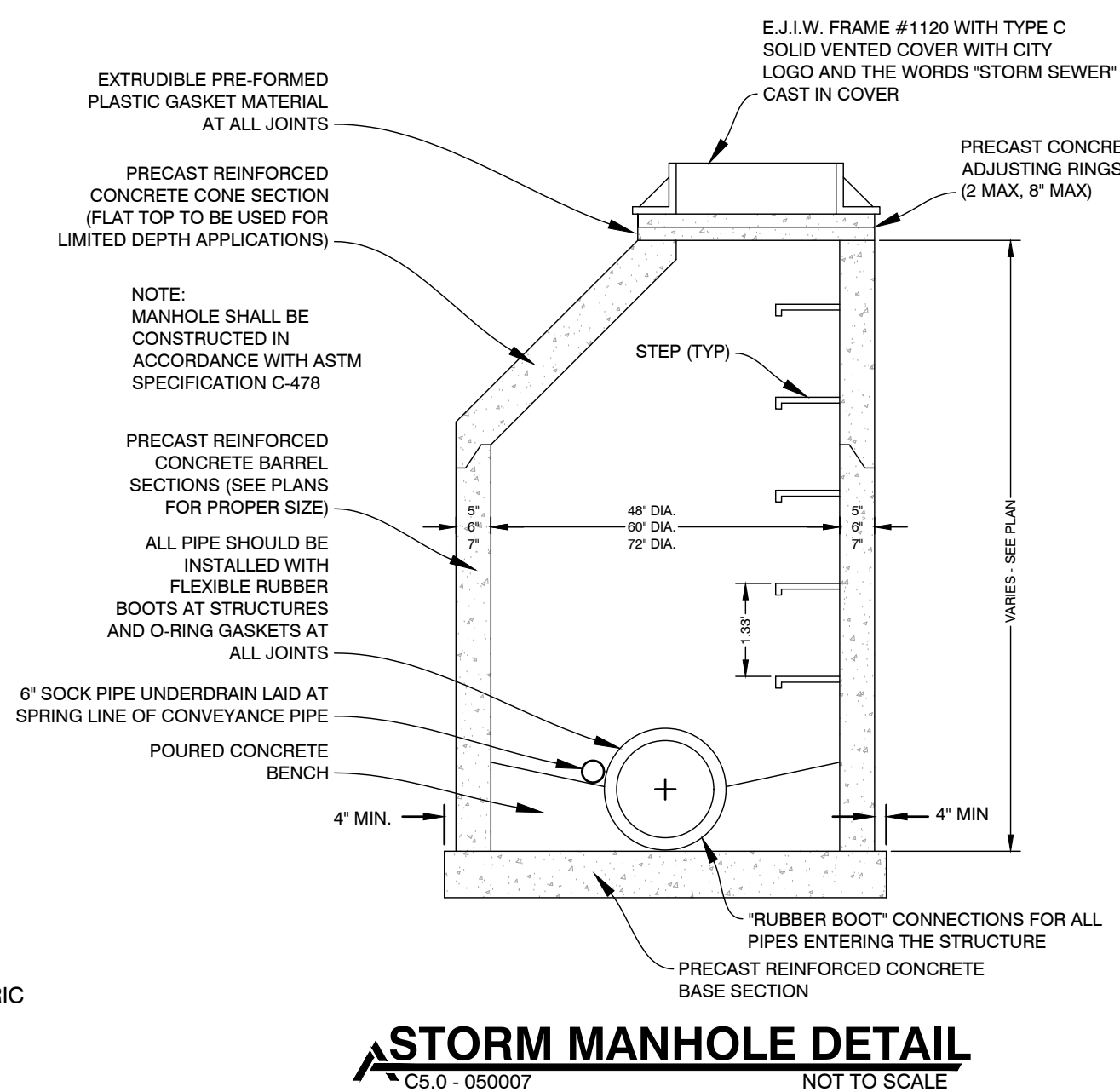
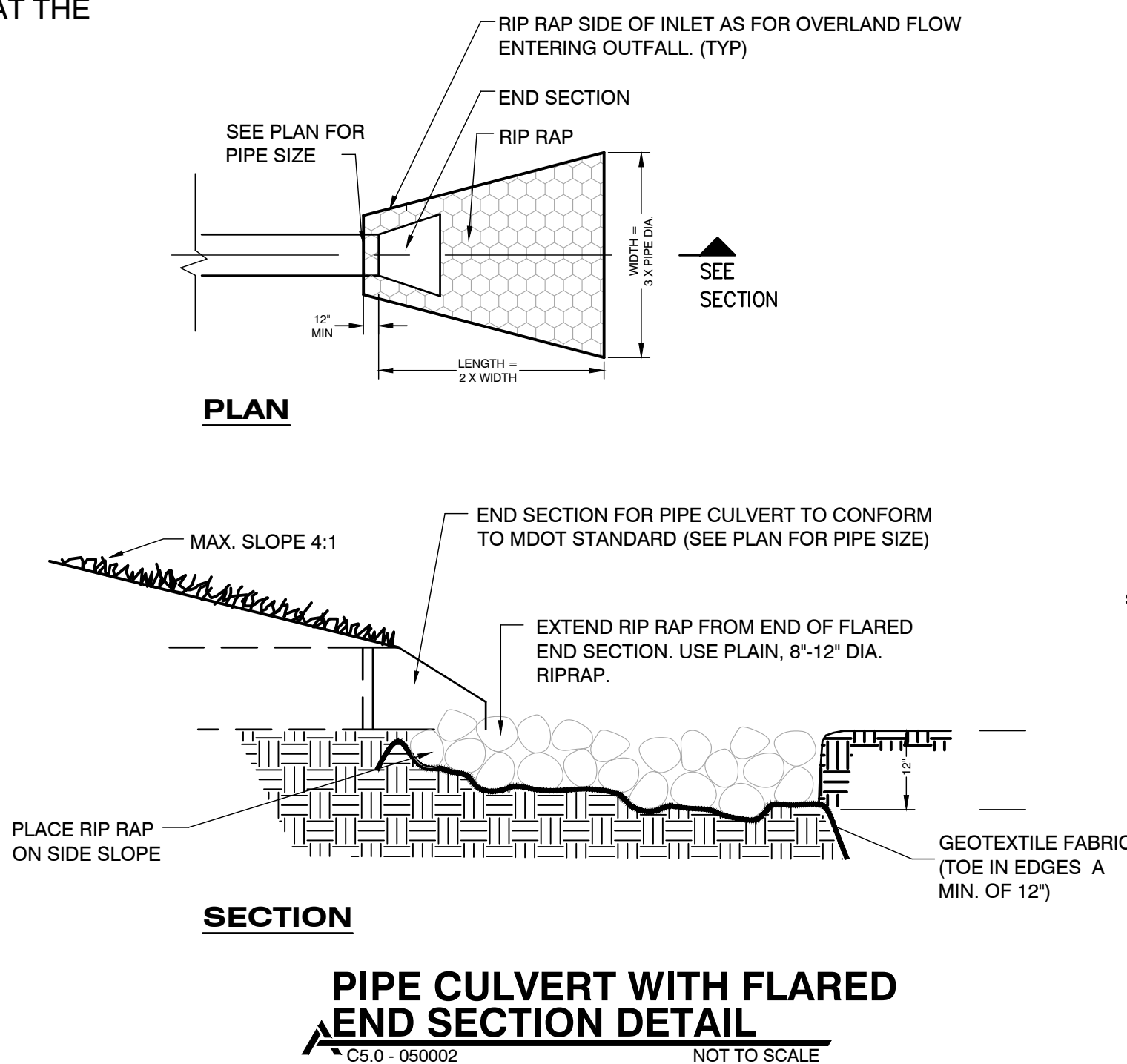
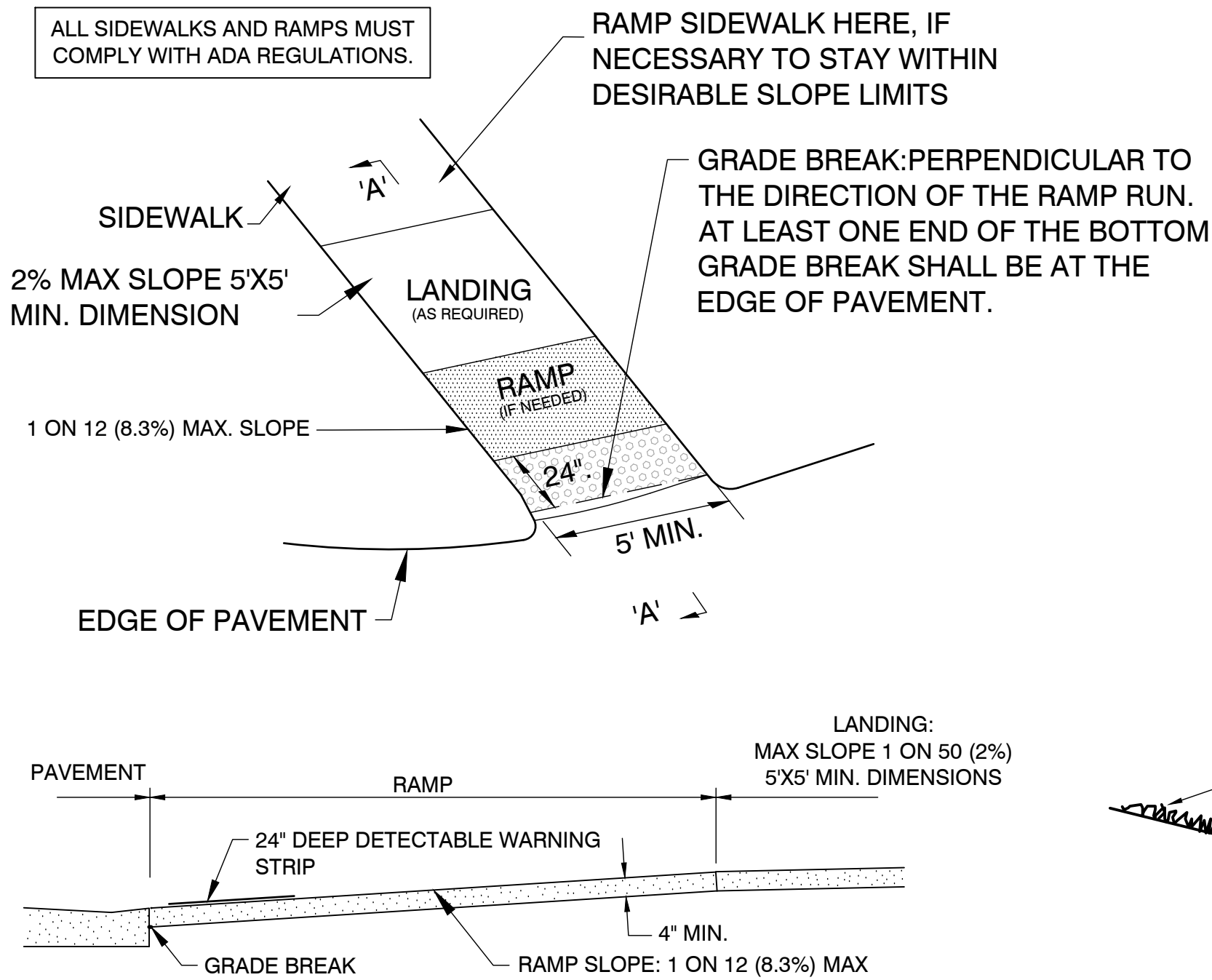
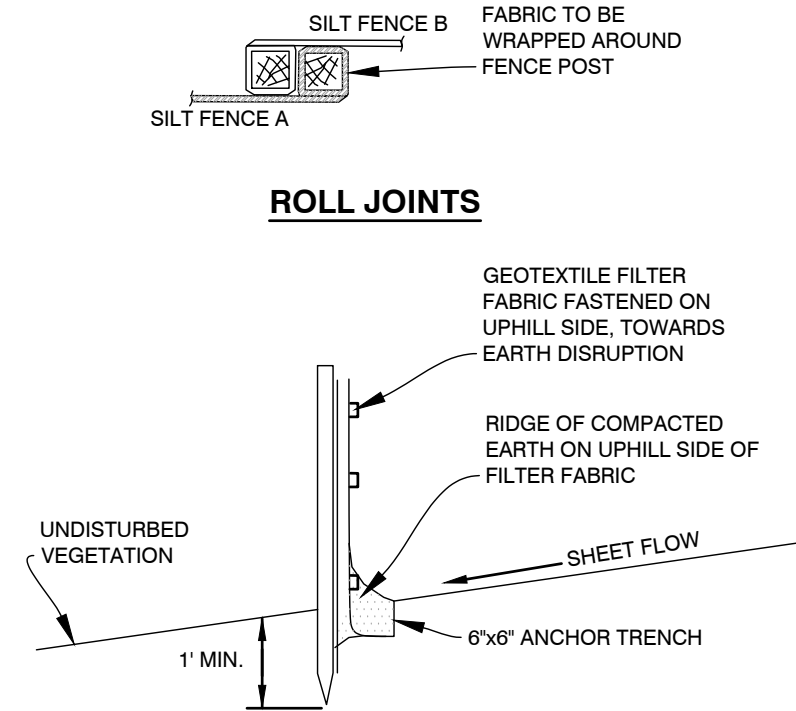
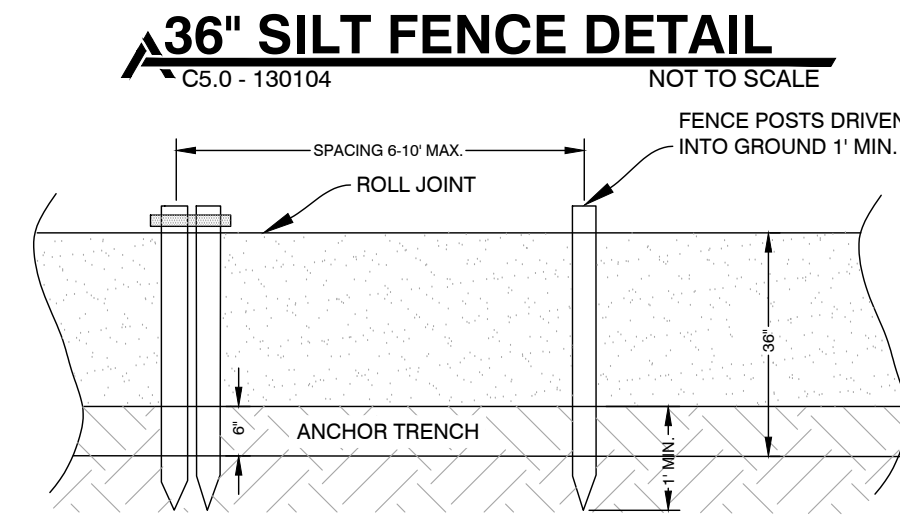
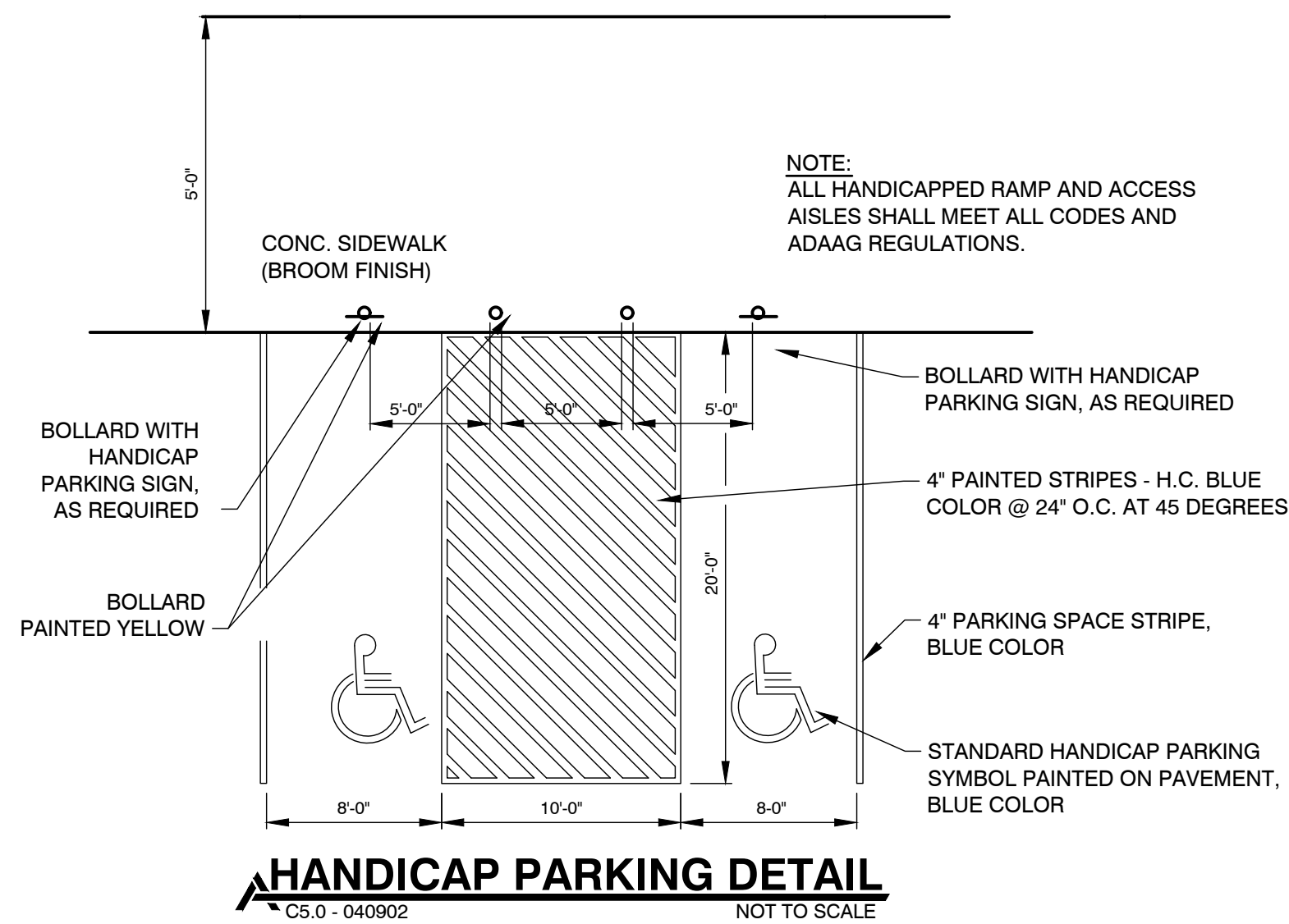
NOTE:
1. WOOD TO BE TREATED PINE. USE GALVANIZED NAILS FOR FASTENING.
2. NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.



IF AN UNOBSTRUCTED VIEW EXISTS OF A RESIDENTIAL BUILDING BETWEEN TENANT PARCEL AND ADJACENT PARCEL, THEN LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S PROTOTYPE CRITERIA SET PLANS AND ANY APPLICABLE GOVERNMENTAL REQUIREMENTS.



REFER TO MDOT STANDARD PLAN R-29-1 (DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK)



NO.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	08/12/20	ar
1			
2			
3			
4			

DETAILS
JONESVILLE PS FOOD MART
CONVENIENCE KING GROUP INC

JOB NUMBER
2071001
DATE
08/12/20

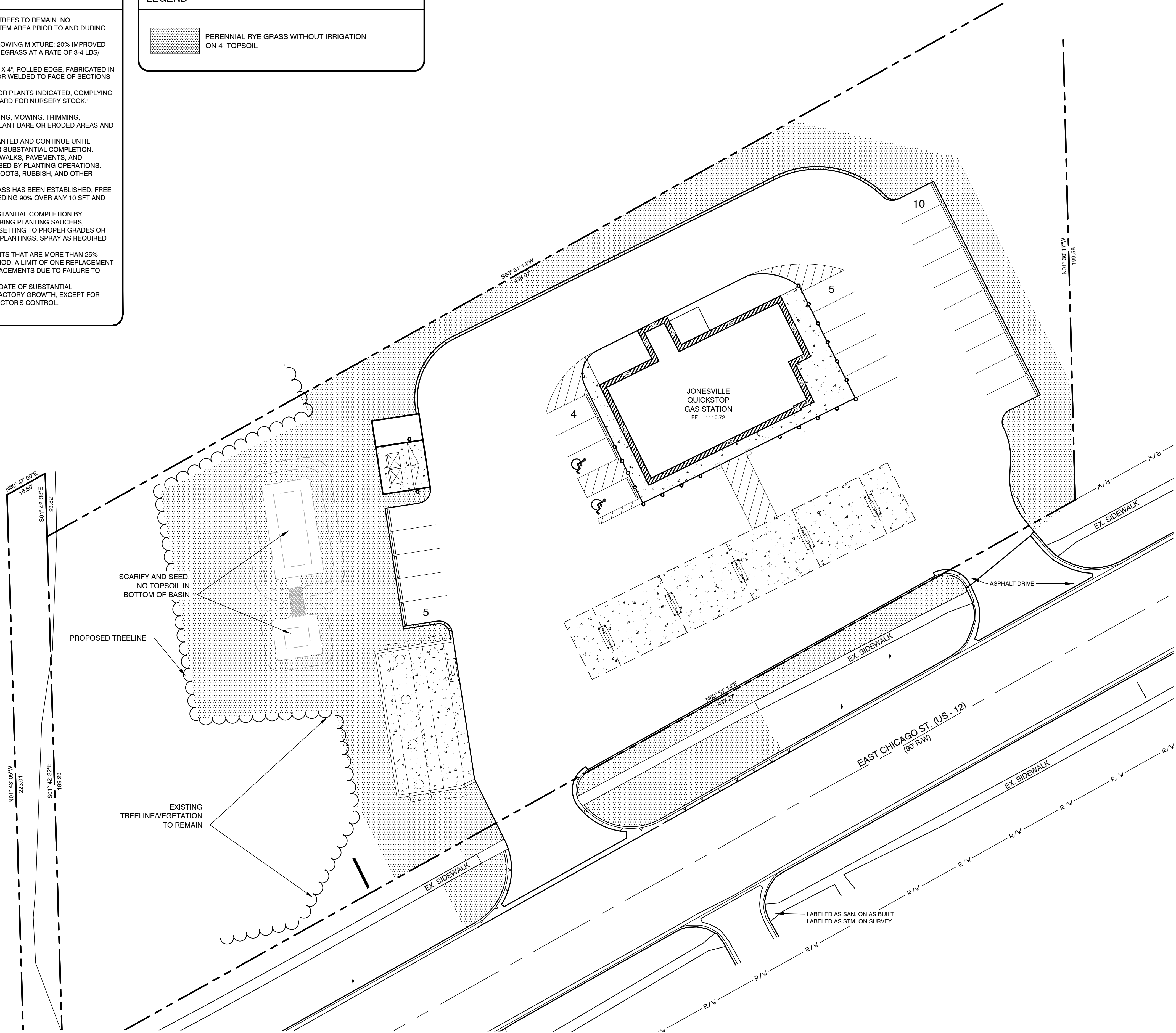
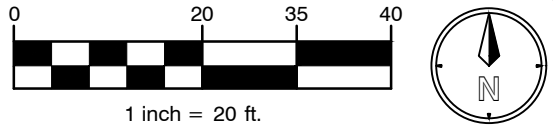
SHEET NUMBER
C5.0

LANDSCAPING NOTES

1. INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN, NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
2. ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 3-4 LBS/ 1000 SFT.
3. ALL EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 3/4" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
4. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
5. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
6. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED; A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
7. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
8. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
9. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
10. MAINTAIN TREES AND SHRUBS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
11. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
12. TREES, AND SHRUBS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

LEGEND

PERENNIAL RYE GRASS WITHOUT IRRIGATION
ON 4" TOPSOIL



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: LANDTECH PROF. SURV. & ENG.

PLANS PREPARED BY:



Civil Engineers & Surveying
MICHIGAN | INDIANA | ILLINOIS | OHIO
269.250.5991 PHONE | 269.559.0654 FAX
www.arengineeringllc.com

DRAWN: ar

CHECKED: ASR

No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	08/12/20	ar
1			
2			
3			
4			

LANDSCAPE PLAN
JONESVILLE PS FOOD MART
CONVENIENCE KING GROUP INC

SHEET TITLE:
PROJECT:
CLIENT:

JOB NUMBER
2071001

DATE
08/12/20

SHEET NUMBER
L1.0